



# **Greensborough Activity Centre - Urban and Landscape Design Guidelines for Precincts 2, 5 and 6**

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November 2015



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## Part A – INTRODUCTION

This section includes information on the purpose, application and operation of the *Urban and Landscape Design Guidelines* (the Guidelines).

### A.1 Purpose

The purpose of the *Urban Landscape and Design Guidelines* (the Guidelines) is to reappraise the heights and setbacks in Precincts 2, 5 and 6 within the Greensborough Principal Activity Centre (GPAC). Currently, the guidance in relation to Precincts 2, 5 and 6 is provided within Activity Centre Zone, Schedule 1 (ACZ1) 'Greensborough Activity Centre' contained within the Banyule Planning Scheme. The reappraisal was required as the current provisions in relation to the three precincts do not provide clear or suitable guidance for achieving maximum building heights and minimum floor level setbacks. Instead, what appears in the Banyule Planning Scheme is a restrictive and some somewhat unclear set of guidelines. Council is seeking a succinct set of design guidelines that maximise the opportunity for development whilst at the same time, reflecting the identity and character of Greensborough.

### A.2 Operation

The Guidelines consist of the following parts:

- **Part A – Introduction**  
This section provides an overview of the Guidelines and their application through the Banyule Planning Scheme.
- **Part B – Aim**  
This part explains the overall aims for the Guidelines which are then reflected in the objectives, design guidelines and precinct requirement provided in Part C.
- **Part C – Objectives, Design Guidelines and Precinct Requirements**  
This part contains the objectives, design guidelines and precinct requirements for Precincts 2, 5 and 6.
- **Objectives –** describes what must be achieved.
- **Design Guidelines –** describe the way of achieving the objectives through specific design treatments.
- **Precinct Requirements –** provide specific preferred standards for building heights and setbacks that relate to each precinct and guide development to meet the objectives and guidelines.

### A.3 Application

Under the ACZ Schedule, the Guidelines are included in the Banyule Planning Scheme as a Reference Document. Accordingly, the Guidelines must be used when assessing relevant planning permit applications for use and development in Precincts 2, 5 and 6.

Applications for development requiring an assessment under the Guidelines will be considered in conjunction with Councils related strategies such as structure plans, urban design frameworks or other relevant policies and provisions.

The objectives, design guidelines and precinct requirements that form these Guidelines can also be found under Clause 37.08 of the Banyule Planning Scheme.

## A.4 How the Guidelines Work

This document uses the existing relevant objectives for each Precinct from the ACZ1, builds upon them and creates a clear set of Guidelines to achieve maximum building heights and minimum floor setbacks within each Precinct. The Guidelines provide detailed requirements in relation to the following:

- Building heights and setbacks;
- Public and private realm landscaping;
- An appropriate built form response to topography and managing visual impact of the buildings outside the Activity Centre boundary;
- Interfaces between residential and non-residential areas of land; and
- Amenity impacts of higher built form on neighbouring areas of land.

These Guidelines ensure substantial new development can be accommodated in Precincts 2, 5 and 6 whilst protecting and enhancing the valued natural qualities and neighbourhood character unique to Greensborough.

## A.5 Why is this review needed?

The Greensborough Structure Plan was completed in 2003, and implemented into the Scheme via Planning Scheme Amendment C51. In 2013 the Minister for Planning approved Planning Scheme Amendment C82 to apply an Activity Centre Zone (ACZ) to the Greensborough Activity Centre. The ACZ was developed by the Department of Planning Transport and Local Infrastructure (DTPLI), in consultation with Banyule City Council. The reason for Amendment C82 was to translate the previous planning scheme provision of Amendment C51 into State Government's preferred zone for an Activity Centre such as Greensborough.

Although the introduction of the ACZ has allowed Council to better implement the Greensborough Structure Plan, a review is considered beneficial to encourage better development outcomes in the centre and to best implement the desired guidance for maximum building heights and minimum floor level setbacks within the following precincts:

- Precinct 2: Henry Street East;
- Precinct 5: Southern Residential; and
- Precinct 6: Flintoff Street.

These precincts were identified for review as they do not accurately reflect the intended intensity of development. Therefore the purpose of these Guidelines is to provide more

appropriate height controls and setbacks that can then be directly implemented into the ACZ Schedule. The introduction of the Guidelines into the Banyule Planning Scheme as a Reference Document will strengthen their operation, providing a suitable level of guidance for new development.

## A.6 Scope Limitations

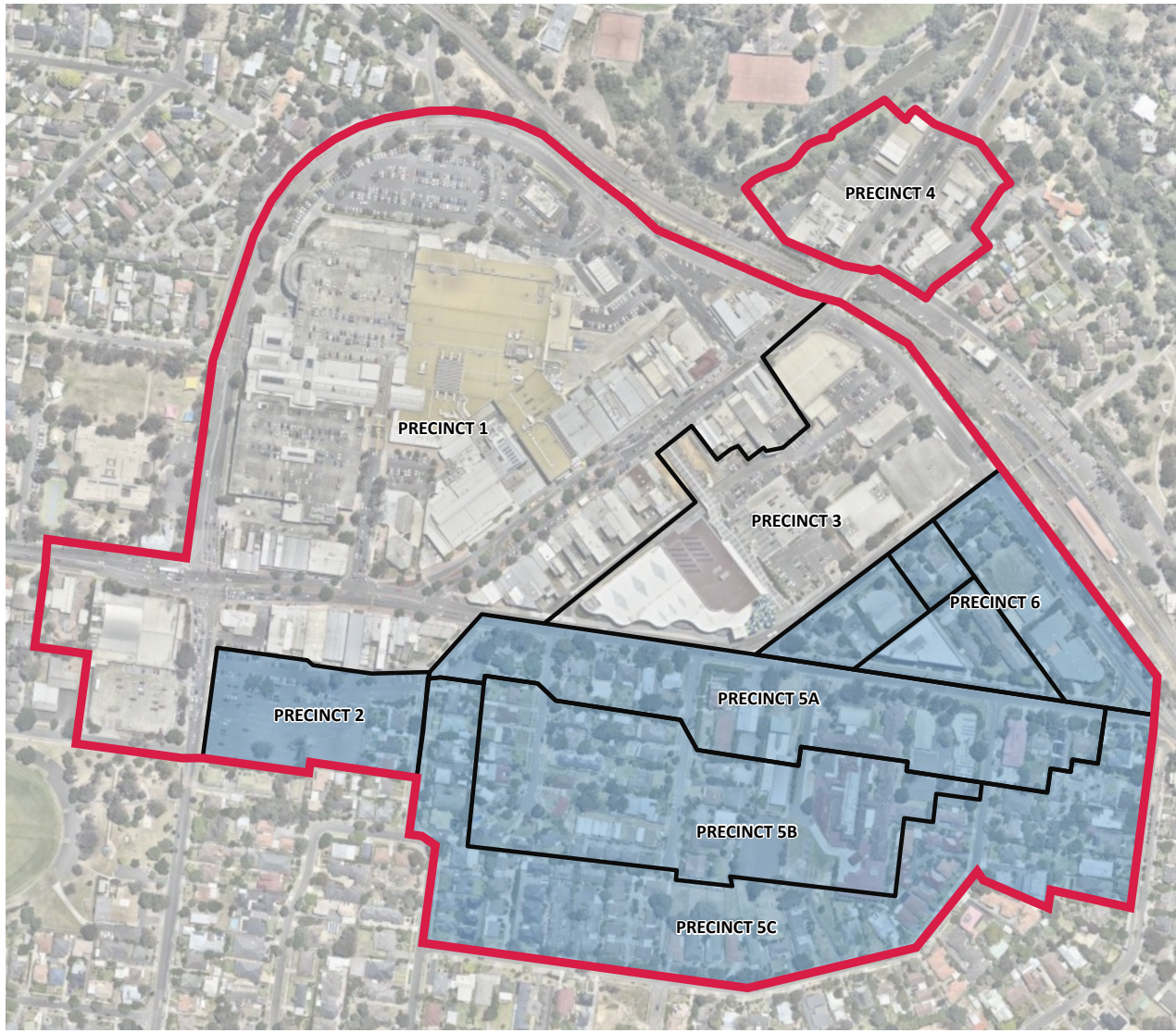
These guidelines only apply to Precincts 2, 5 and 6 within the ACZ and cover the following themes, which form the structure of the report as follows:

- Building Heights and Massing;
- Views and Vistas; and
- Setbacks and Landscaping.

The Guidelines can be used in the development application process to guide applicants to achieve outcomes that balance the importance of facilitating sustainability through higher intensity developments whilst also designing with the topography, nestling the built form into the green landscape setting. The Guidelines understand the underlying attributes of Greensborough described within the Structure Plan, as both an important activity centre and an urban hub with unusual natural attributes that are at times not understood, or appreciated, by the community outside of Greensborough.

## A.7 The Study Area

This map outlines the area to which these guidelines apply. It also indicates the surrounding precincts that already have controls applied with regards to heights and setbacks.






- LEGEND**
-  ACTIVITY CENTRE BOUNDARY
  -  PRECINCTS
  -  STUDY AREA

Figure 1: All Precincts

## PART B – AIM

### B.1 AIMS – Precincts 2, 5 and 6

Both the Greensborough Structure Plan and the ACZ Schedule provide the core objectives for Greensborough Activity Centre. These have been condensed into 3 high order aims, which these Guidelines seek to achieve. These aims directly relate to the key themes within this document which include Building Heights and Massing, Views and Vistas and Setbacks and Landscaping. The aims are as follows:

- Support Higher Density, Mixed Use and Transit Oriented Development.
- Respond to extraordinary natural attributes and visual linkages.
- Maximise landscape opportunities.

The objectives and guidelines within this document have been drafted to address the aims as outlined.

Along with the aims above, the following Objectives from the Activity Centre Design Guidelines are found to be relevant to the themes addressed in these Guidelines and have been considered in their development.

**Objective 1** – Integrate transit stops and interchanges into the design and layout of the activity centre, and locate them centrally.

**Objective 2** – To design streets that comfortably and safely accommodate the pedestrian and cyclist.

**Objective 3** – To provide a focus for the local community and reinforce a local sense of place or identity.

**Objective 4** – Ensure the scale and form of higher density housing in activity centres are appropriate.

**Objective 5** – To ensure higher density housing sensitively responds to the surrounding neighbourhoods.

## PART C – GUIDELINES

### C.1 BUILDING HEIGHT AND MASSING

#### WHY IS THIS IMPORTANT?

More intensive development in Greensborough will allow for both increased economic activity and pedestrian activity. Precincts 2, 5 and 6 hold differing opportunities for intensification and increases in built form height. The future built form proposed as part of these Guidelines has factored in the competing demands associated with the Greensborough Activity Centre. The centres context in the Plenty River Valley means its built form height should be designed as an extension of the green landscape, protecting and improving visual links both in-and-out of the centre.

This necessity to complement the existing scale and character must also be balanced with the need to increase sustainability and the functionality of the train station. The building fabric must be designed to support higher density housing, whilst also ensuring a human scale is still maintained at the street level, with massing of buildings along street edges moderating the appearance of any taller buildings, so they become positive additions to Greensborough.

Within each precinct, these Guidelines provide preferred built form heights and preferred street wall heights. The aim is to deliver a human scale of building that doesn't dominate or overwhelm the street, whilst delivering economically supportable built form heights and development.

Figure 2 depicts the proposed building heights across all the precincts. Please note, the zones of height and colour do not depict built form and placement of buildings. Objectives, design guidelines and precinct requirements in relation to building heights are provided for each precinct.



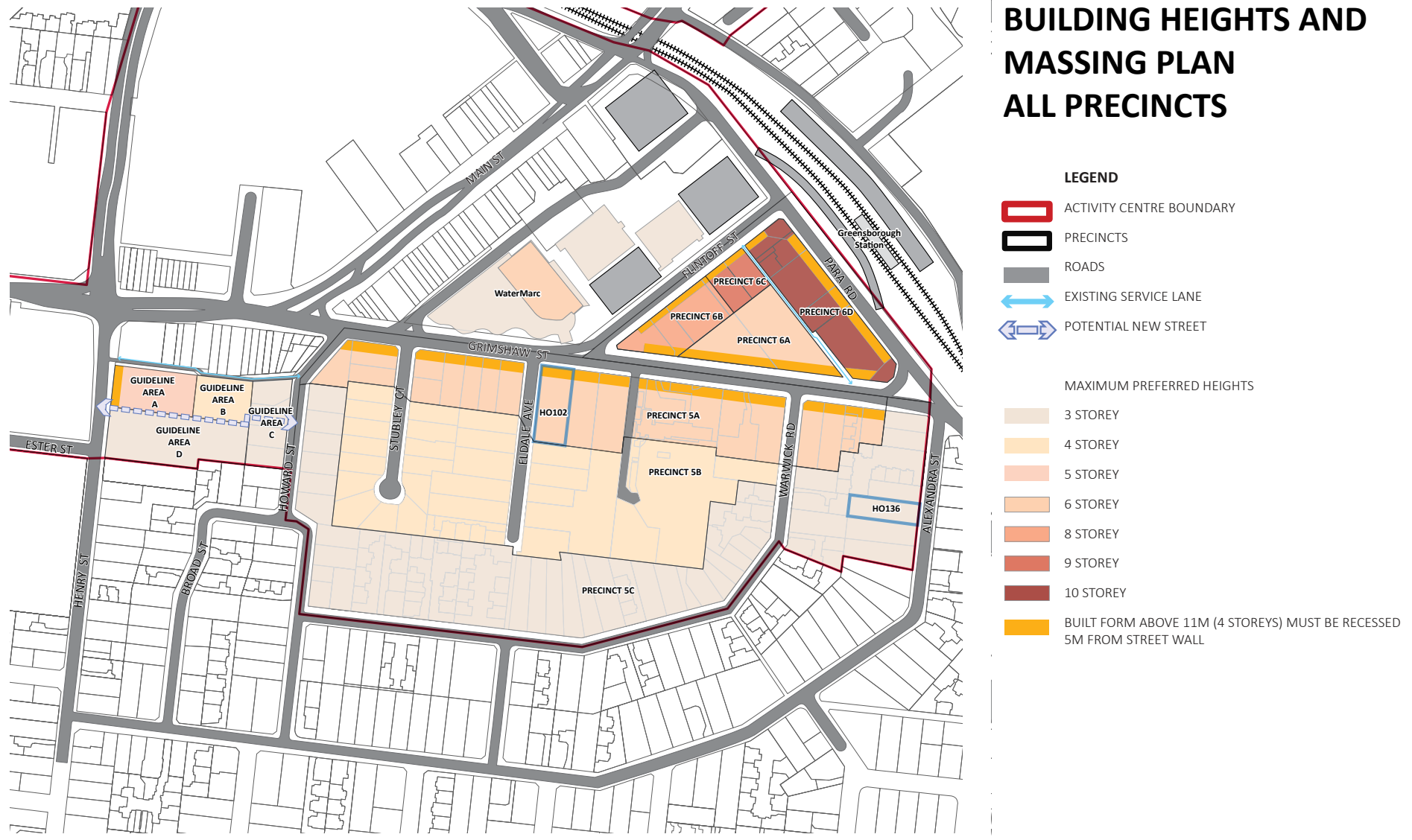


Figure 2: Building Height and Master Plan all Precincts

## PRECINCT 2 – HENRY STREET EAST

### Precinct Objectives

- To facilitate the redevelopment of the precinct for a combination of retail, commercial and medium density residential development.
- To ensure new development is designed to sensitively respond to the residential areas to the south, protecting and maintaining existing amenity and character.
- To ensure developments fronting Henry Street are adaptable and provide active frontages and maintain a pedestrian scale along the street.
- To provide opportunities for new connections through the precinct to Grimshaw Street and Main Street.
- To provide adequate car parking with the site to ensure no net loss.
- To improve access through the site via a potential new street running east-west.

- To ensure any multi-decked car parking is adequately activated at the ground floor.

### Built Form

- Buildings fronting Henry Street should include floor to ceiling heights of 4 metres on the ground floor to allow for future adaptation.
- Development facing Henry Street should include active frontages with a minimum of 80% clear glazing applied to retail and commercial uses at ground level.
- Buildings fronting Henry Street should have a fine grain and vertical articulation reflective of the existing retail to the north along Grimshaw Street.
- Development within Heights and Setback Guideline Areas C and D must be designed to reflect the scale and grain of adjoining residential areas to the south and east.

- Any multi-decked car parking should be sleeved with commercial floorspace.
- New development must step down in height at the interface between the Precinct and adjoining residential areas to avoid overshadowing and overlooking impacts.

### Access

- Access through the Precinct should be improved via the provision of a potential new east-west link through the site. Active frontages are encouraged along this street.
- Development should incorporate and facilitate through-block linkages to Grimshaw Street. Active frontages should be provided to these linkages.
- Loading access to the rear of shops should be maintained in any redevelopment of the car park.

### Precinct Requirements

Height and Setback Guideline Areas	Preferred maximum building height (vertical measurement taken at the centre of the site frontage at the front building wall).	Preferred street wall building height (vertical measurement taken at the centre of the site frontage).	Preferred Setback
A	17 metre preferred maximum building height.	13 metre (4 Storey) street wall height.	0 metre setback to Henry Street.
B	14 metre preferred maximum building height.	13 metre (4 Storey) street wall height.	0 metre setback to potential internal road/ link.
C	11 metre preferred maximum building height.	NA. The overall height limit is 11 metres (3 storeys).	Clause 55.03 -1 (Standard B6) setback to Howard Street.
D	11 metre preferred maximum building height.	NA.	0 metre setback to Henry Street. 0 metre setback to mid-block link.

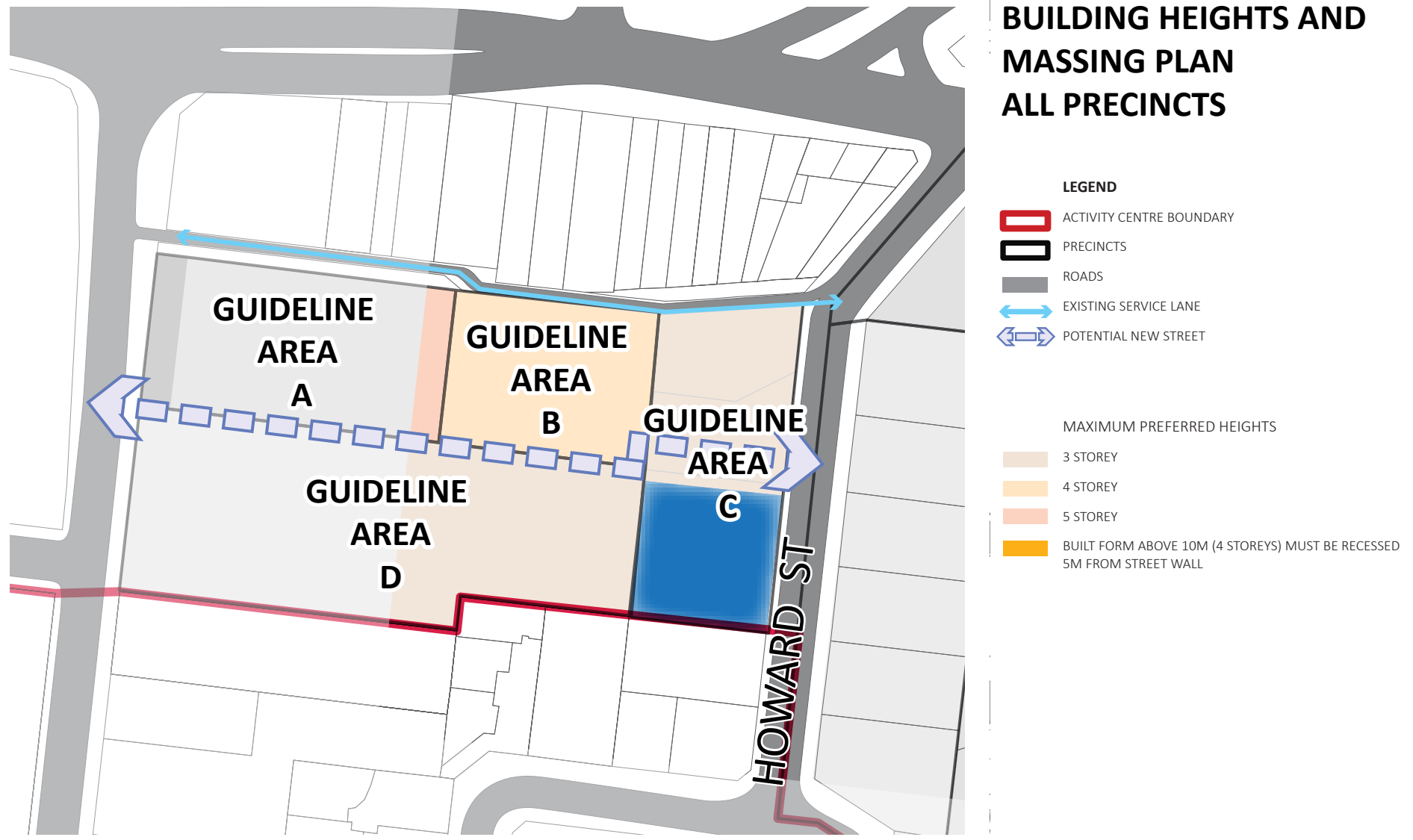


Figure 3: Building Heights and Master Plan Precinct 2

## PRECINCT 5 – SOUTHERN RESIDENTIAL

### Precinct Objectives

- To maximise the opportunity for urban consolidation in Sub-Precinct 5A.
- To encourage higher density residential and mixed use development with a medical centre focus in Sub-Precinct 5A.
- To maintain a built form height and scale that is respectful of heritage and adjoining residential areas.
- To encourage medium density residential development in Sub-Precinct 5B.
- To deliver heights that provide a transition in scale to surrounding residential areas, ensuring the development complements surrounding character

### Precinct Guidelines

#### Built Form

- Properties in Sub-Precinct 5A should be consolidated and redeveloped for medium density residential and mixed use development. The establishment of medical and other related uses within the precinct with residential uses above is encouraged.
  - Buildings fronting Grimshaw Street should include floor to ceiling heights of 4 metres on the ground floor to allow for future adaptation.
  - Buildings in Sub-Precinct 5A should be designed with a street wall height of 4 storeys.
  - The rear of buildings in Sub-Precinct 5A should be recessed to avoid overshadowing development to the south in accordance with Clause 55.04-6 'Overshadowing'.
  - The built form should transition progressively, from lower scale development at the southern end of the precinct to taller built forms along Grimshaw Street in accordance with the precinct requirements at Clause 5.5-3.
- Sub-Precinct 5C should be designed to reflect the residential grain of the adjoining low-rise residential area.
  - Residential development should be designed to provide natural surveillance by addressing the street and overlooking the public realm.

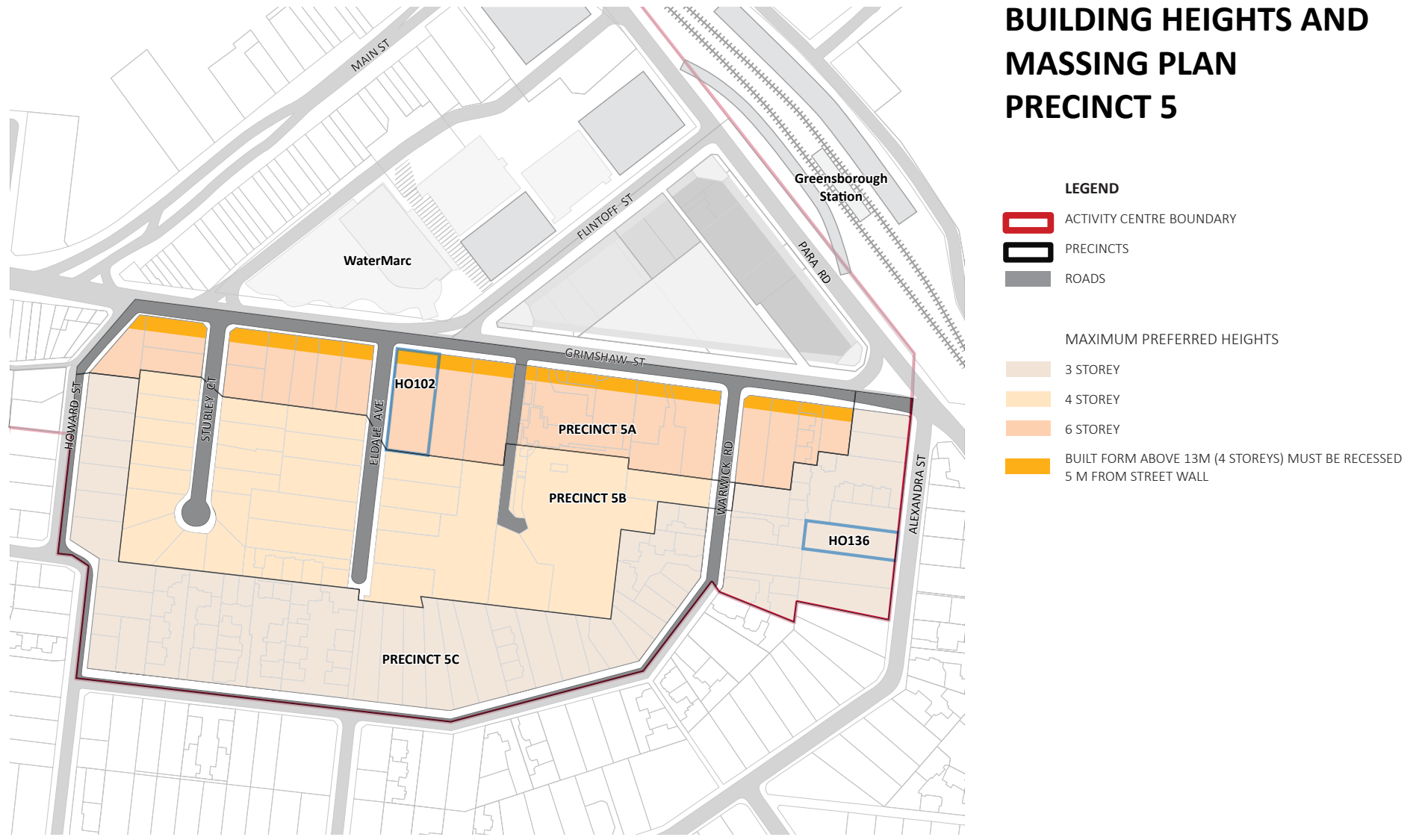


Figure 4: Building Heights and Master Plan Precinct 5

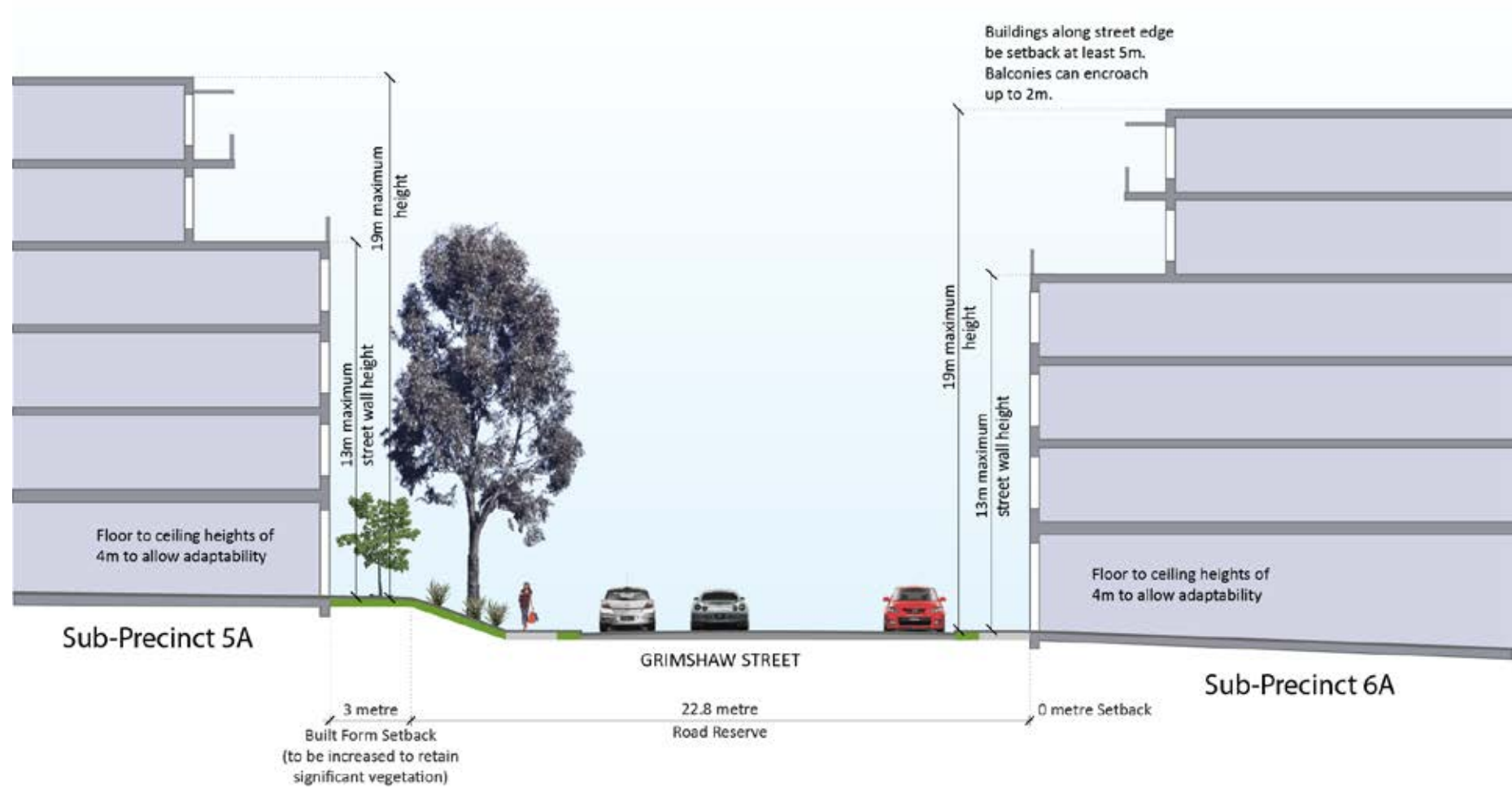


Figure 5: Section detailing heights and setbacks to Grimshaw Street from Precinct 5

**Precinct Requirements**

Sub-Precinct	Preferred maximum building height (vertical measurement taken at the centre of the site frontage at the front building wall).	Preferred street wall height (vertical measurement taken at the centre of the site frontage).	Preferred setback
5A	20 metre preferred maximum building height.	13 metre (4 storeys) street wall height.	Minimum setback of 3 metres to Grimshaw Street. This can be increased where significant vegetation is to be retained.
5B	14 metre preferred maximum building height.	13 metre (4 storeys) street wall height.	Minimum setback of 6 metres. This can be increased where significant vegetation is to be retained.
5C	10 metre preferred maximum building height.	NA. The overall height limit is 13 metres (4 storeys).	Clause 55.03-1 (Standard B6) setbacks apply to sensitive interfaces to existing residential areas.

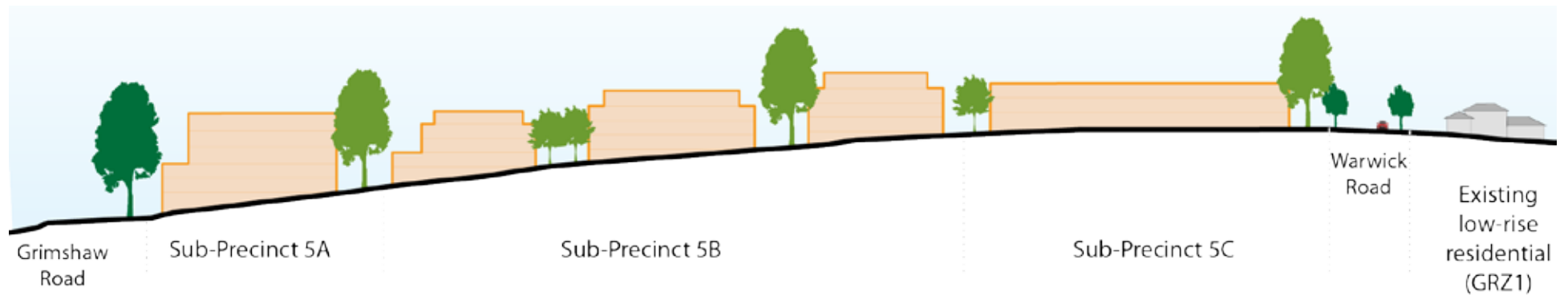


Figure 6: Section detailing heights and setbacks through Precinct 5

## PRECINCT 6 – FLINTOFF STREET

### Precinct Objectives

- To encourage development of high density commercial and residential buildings in the precinct.
- To promote the legibility of the precinct through high quality and distinctive built form outcomes on prominent corners.
- To provide setbacks and facade articulation that deliver visual interest.
- To ensure building heights and bulk consider topography and protect and enhance significant views.
- To enhance the pedestrian experience of Flintoff Street as a major movement link connecting the station with Main Street.
- To provide improved pedestrian connections to Main Street through the Key Pedestrian Areas, railway crossing and mid-block linkages.
- To ensure buildings retain a pedestrian scale and do not visually dominate the street environs.
- To ensure development improves physical and visual connectivity to the rest of the activity centre, railway station and Plenty River Valley parkland.

### Precinct Guidelines

#### Built Form

- Development should be of a contemporary architectural style in keeping with the significant commercial role of the precinct.

- The design of prominent corners should include distinctive architectural elements.
- Development facing Flintoff Street and Grimshaw Street frontage should have active frontages at the ground level to provide a safe and lively environment.
- Buildings along key pedestrian routes should ensure a minimum of 80 percent of the street frontage at ground level is a display window or non-vehicular entry.
- Built form should be designed with a street wall that include both a fine grain and strong vertical articulation to deliver visual interest.
- Upper levels of properties on Grimshaw should be recessed adequately to avoid impacts to solar access to the southern footpath at the Equinox.
- Ensure buildings make a positive contribution to both the street and distant views by minimising blank walls, articulating façades and using a combination of materials and colours.
- Street walls should be no greater than 4 storeys to reflect the open nature of the existing character of Greensborough and to avoid an overbearing relationship to the street.
- Floor to ceiling heights of 4 metres should be provided on the ground and first floor of built form interfacing with Flintoff Street and Para Road to allow for future adaptation.
- Development should make a positive contribution to the centres skyline from key views identified in Figure 9, by

avoiding excessively tall or bulky buildings that dominate the view.

- Views to the Plenty River Valley and between buildings should be maintained through recessing upper floor elements and including slender and separated building forms above street wall height.

### Access

- Development should provide internal and external pedestrian connections with key pedestrian routes linking Main Street, the railway station and the Plenty River Valley parkland.



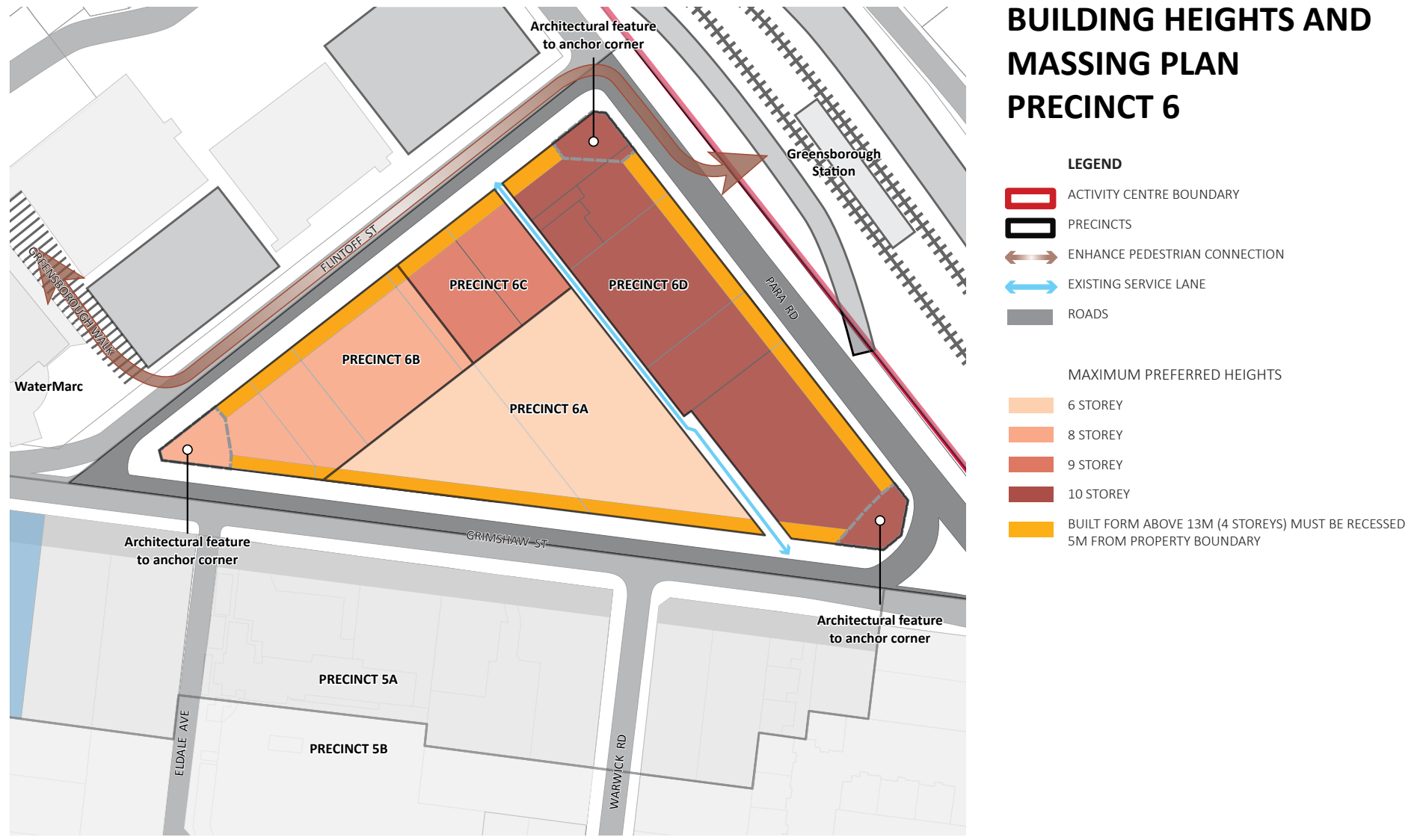


Figure 7: Building Heights and Master Plan Precinct 6

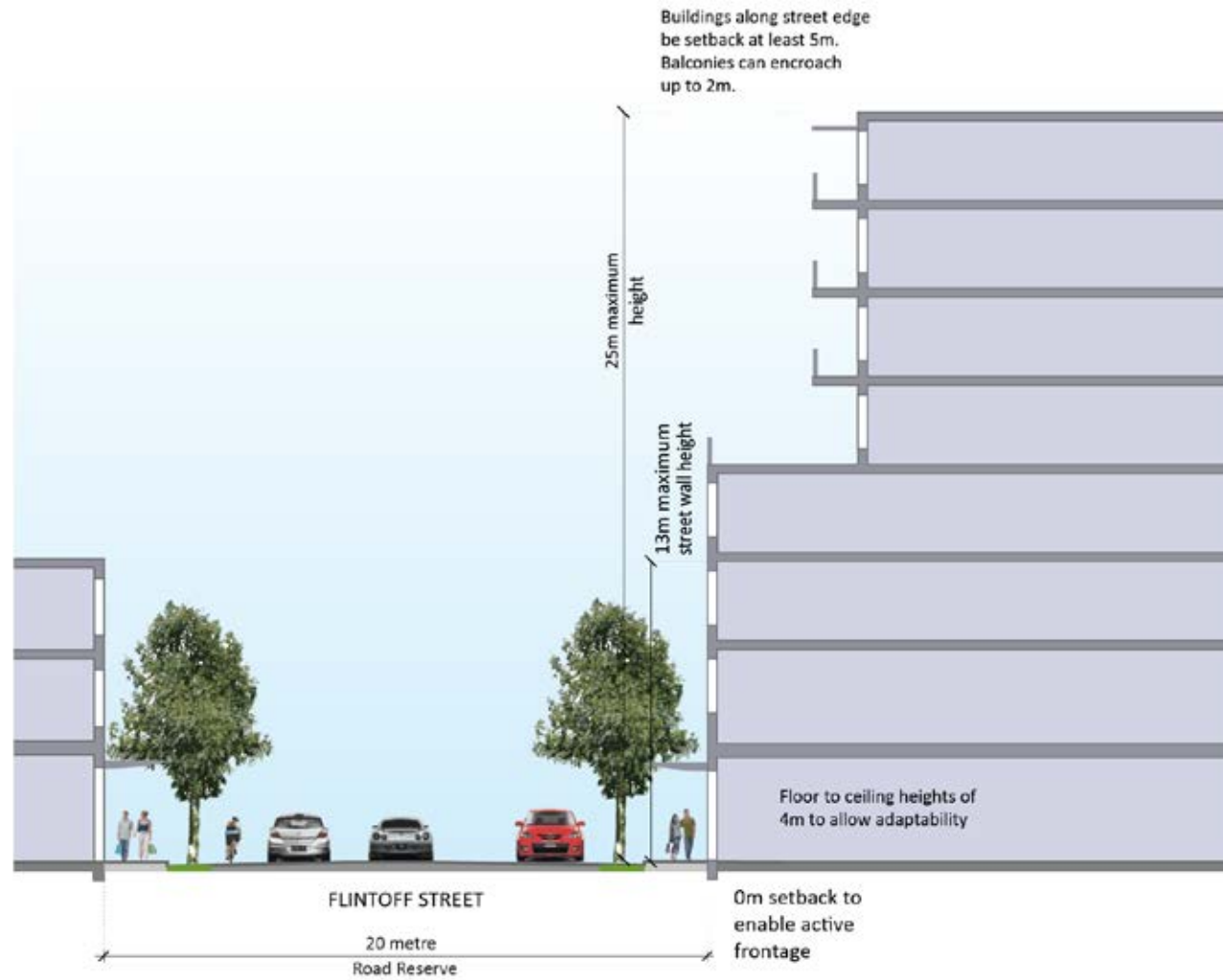


Figure 8: Building Heights and Master Plan Precinct 6

**Precinct 6 Precinct Requirements**

Sub-Precinct	Preferred maximum building height (vertical measurement taken at the centre of the site frontage at the front building wall).	Preferred street wall treatment (vertical measurement taken at the centre of the site frontage).	Preferred setback
6A	20 metre maximum building height.	13 metre (4 storey) street wall height.	3 metre setback.
6B	26 metre maximum building height.	As above.	0 metre front setback on Flintoff Street, 3 metre front setback on Grimshaw Street.
6C	29 metre maximum building height.	As above.	0 metre front setback.
6D	32 metre maximum building height.	As above.	0 metre front setback on Para Road, 3 metre setback on Grimshaw Street..

## C.2 VIEWS AND VISTAS

### WHY IS THIS IMPORTANT?

A key issue and opportunity associated with the Greensborough Activity Centre is its spectacular location in the Plenty River Valley. An important aspect of these Guidelines is ensuring any proposed built form heights and massing has been developed considering of the topography and in particular, the visual impact of the built form from outside the Activity Centre.

Of the three precincts, Precinct 6 has the largest impact on views from outside the Activity Centre. This is already evident from the impact the Centrelink building has on views. However, as an Activity Centre, the impact the proposed built form has on the views must be balanced with the importance of increasing sustainability through higher densities around the Greensborough Train Station.

The heights proposed for Precinct 6 have been developed in consideration of views and vistas. They aim to ensure a consistent roof height across Precinct 6. Figure 9 displays a number of views and vistas into the Precinct. These viewpoints were then reassessed to determine which are the

strongest. The sections provided at Figures 8 and 9 depict the strongest views into the Activity Centre. As described on the diagrams, the heights proposed in Precinct 6 have been developed to respond to the existing built form and skyline, rather than dominate. Objectives and design guidelines in relation to views and vistas are provided for Precinct 6 only.



## VIEWS AND VISTAS

### LEGEND

#### MAXIMUM PREFERRED HEIGHTS

- 3 STOREY
- 4 STOREY
- 5 STOREY
- 6 STOREY
- 8 STOREY
- 9 STOREY
- 10 STOREY

BUILT FORM ABOVE 13M (4 STOREYS) MUST BE RECESSED 5M FROM STREET WALL

VISTAS TOWARDS GREENSBOROUGH ACTIVITY CENTRE FROM PUBLIC REALM

SECTION LINES

Figure 9: Views and Vistas

## PRECINCT 6 – FLINTOFF STREET

### Precinct Objectives

- To respond to important views and the natural setting and landscaping
- To ensure buildings are suitably spaced to frame views between them.
- To ensure development improves the physical and visual connectivity to the rest of the activity centre, railway station and Plenty River Valley Parkland.

### Precinct Guidelines

- Minimise impacts on views and shadow impacts by reducing building bulk.
- Consider the impact development has on the identified view lines into the precinct, designing to respond, rather than dominate views. See Figures 10 and 11.
- Ensure development makes a positive contribution to the centres skyline from identified key views by avoiding excessively tall or bulky buildings that dominate the view.
- Encourage views between buildings through recessing upper floor elements and including slender and separated building forms above street wall height.
- Where possible retain and incorporate significant remnant and skyline trees into the streetscape and building design.
- Ensure buildings make a positive contribution to both the street and distant views by minimising blank walls, articulating façades and using a combination of materials and colours.



Figure 10 : Section taken from Hume Street on opposite side of Plenty River Valley

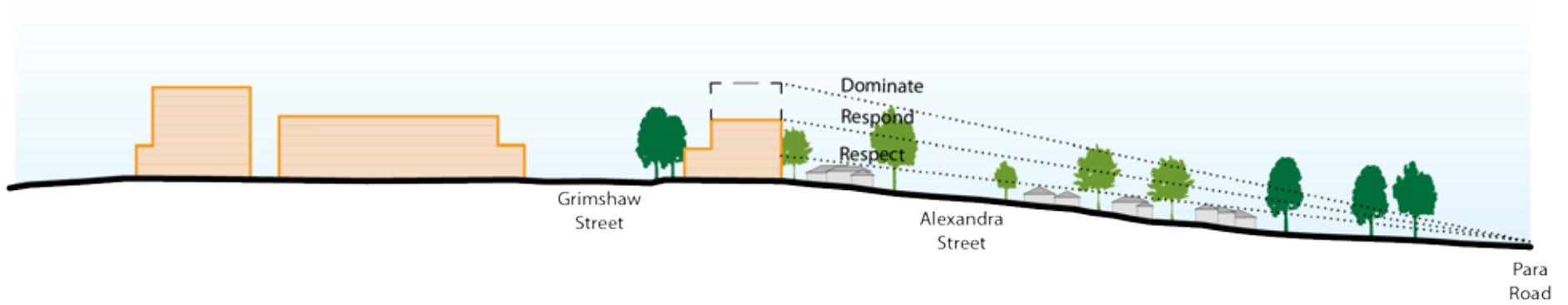


Figure 11: Section taken from Para Road to the east of the Activity Centre.

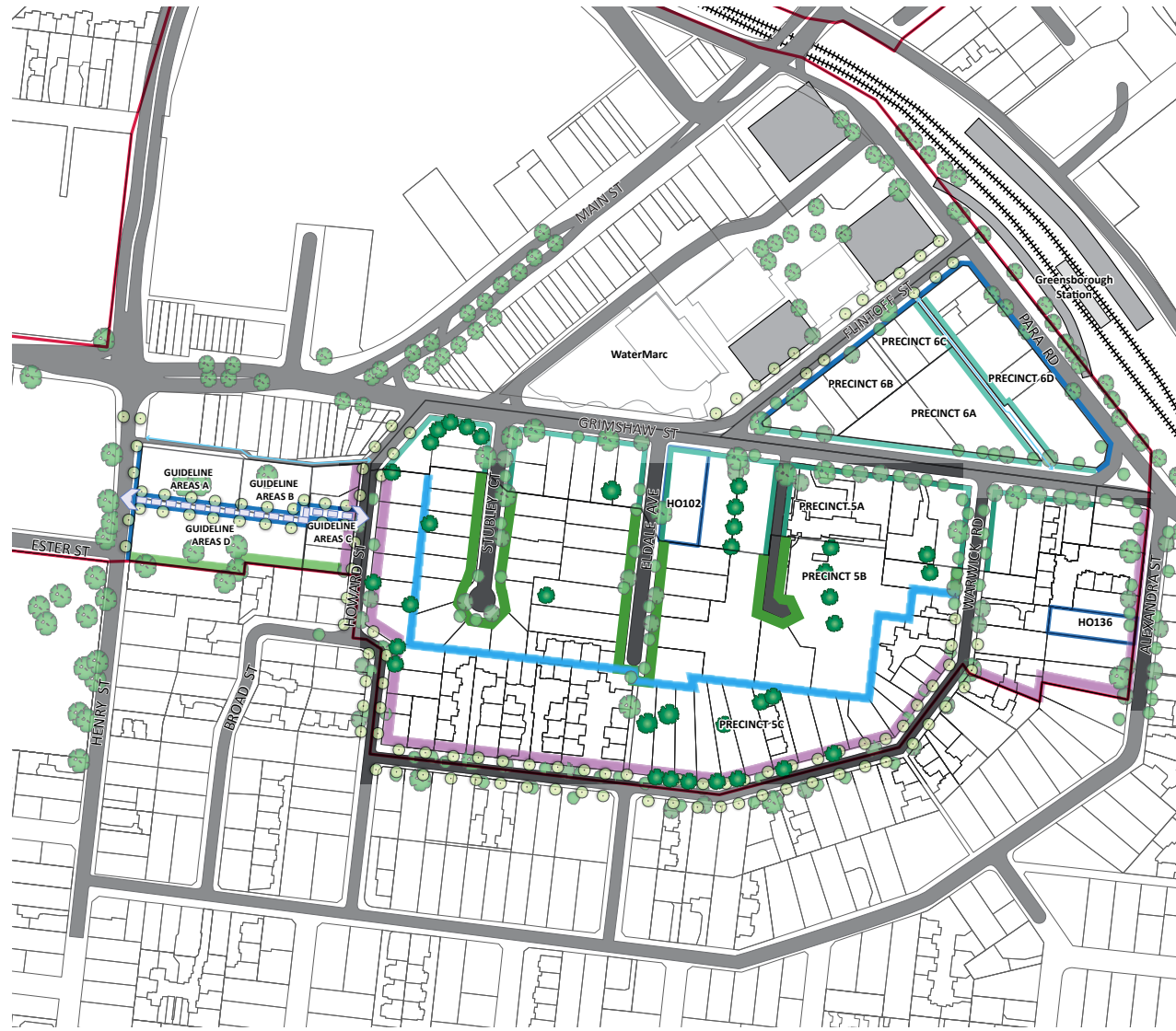
### C.3 SETBACKS AND LANDSCAPING

#### **WHY IS THIS IMPORTANT?**

Greensborough's leafy public and private realm and generous setbacks are distinct features that contribute to its character and identity. Ensuring that future built form respects and builds upon these key features will mean Greensborough retains its local identity and residential amenity for existing residents. The size of built form setbacks applied to certain precincts is critical to not only respecting the local identity but also retaining important trees and vegetation in both the private and public realm.

These Guidelines apply different setbacks and landscaping treatments to achieve appropriate outcomes. As described on the diagrams, the setbacks and landscaping proposed have been developed to respond to the existing character. Objectives and design guidelines in relation to setbacks and landscaping are provided in relation to all precincts. The precinct guidelines in relation to setbacks have been included in Section C.1, as they need to be read in conjunction with the building heights and setbacks proposed. Figure 12 provides the overall setbacks and landscaping proposed for Precincts 2, 5 and 6.





## SETBACKS AND LANDSCAPING ALL PRECINCTS

### LEGEND














-  ACTIVITY CENTRE BOUNDARY
-  PRECINCTS
-  EXISTING SERVICE LANE
-  ROADS
-  POTENTIAL NEW STREET
-  EXISTING TREES IN PUBLIC/PRIVATE REALM
-  SIGNIFICANT TREES TO BE RETAINED
-  PROPOSED LANDSCAPING ENHANCEMENTS
-  0M SETBACK
-  CLAUSE 55.03-1 (STANDARD B6) APPLIES. THIS SHOULD BE INCREASED WHERE SUBSTANTIAL VEGETATION IS TO BE RETAINED
-  MINIMUM 3M SETBACK TO GRIMSHAW STREET. THIS SHOULD BE INCREASED WHERE SUBSTANTIAL VEGETATION IS TO BE RETAINED
-  MINIMUM 6M SETBACK APPLIES. THIS SHOULD BE INCREASED WHERE SUBSTANTIAL VEGETATION IS TO BE RETAINED
-  CLAUSE 55.04-1, 55.04-2, 55.04-3, 55.04-5 AND 55.04-6 APPLY AT SENSITIVE INTERFACE

Figure 12: Setbacks and Landscaping proposed for Precincts 2, 5 and 6.

## PRECINCT 2 – HENRY STREET EAST

### Precinct Objectives

- Ensure the proposed setbacks achieve a balanced outcome between protecting residential amenity and allowing for retail and commercial expansion.
- To improve the streetscape character and pedestrian environment through landscaping.

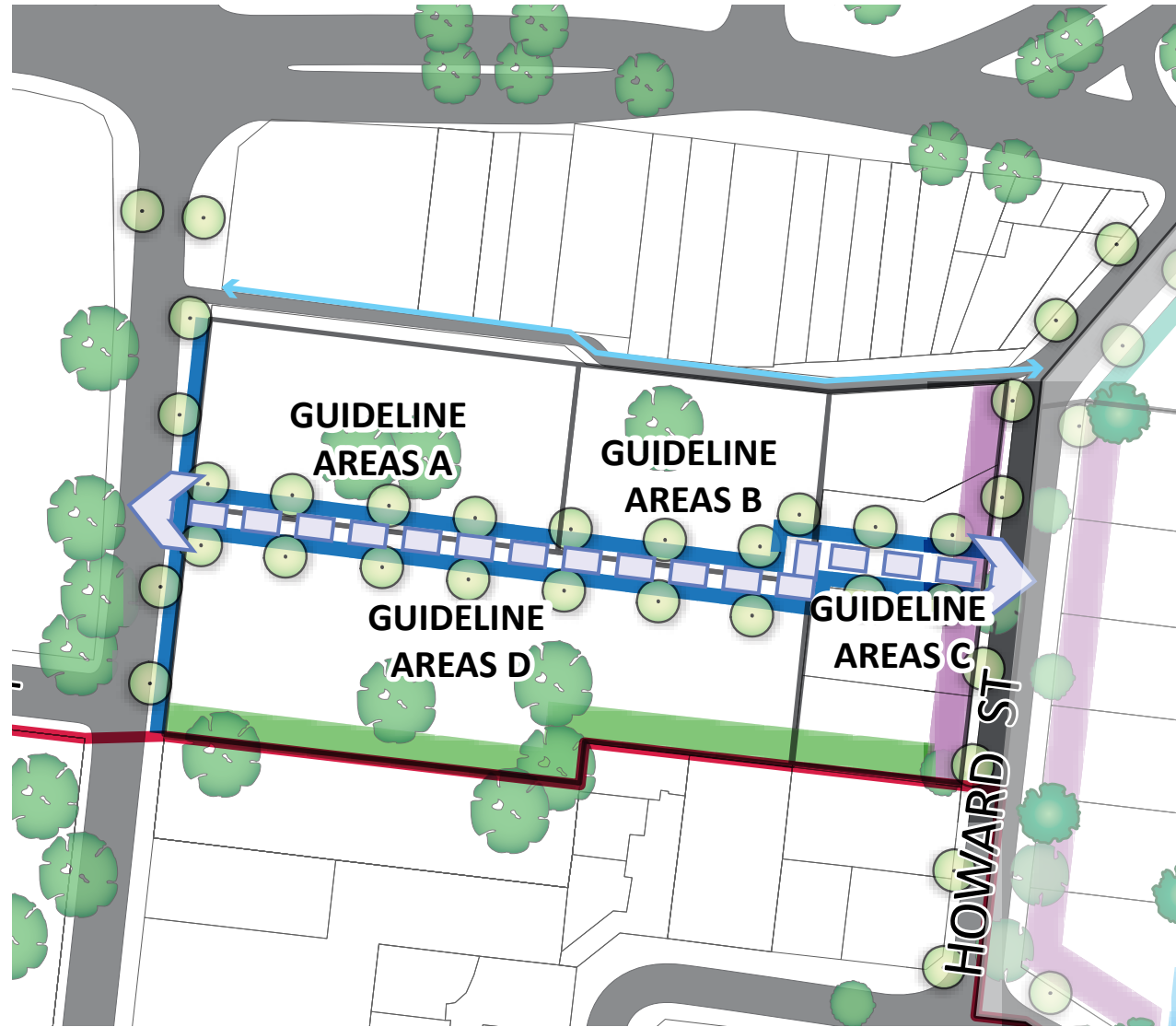
### Precinct Guidelines

#### Setbacks

- Within Heights and Setback Guideline Areas C and D, at the interface to the existing residential areas to the south:
  - *For residential development, apply a side setback in accordance with Clause 55.04-1 'Side and Rear Setbacks'.*
  - *For commercial or retail development, apply a minimum 5m side setback to provide an adequate landscape buffer.*
- To ensure suitable access can be achieved to the lane-way on the northern boundary to Precinct 2, new development within Heights and Setback Guideline Areas A, B and C should be setback 1 metre from the northern boundary.

### Landscape

- The public realm along Henry Street should be enhanced through street planting that favour native species.
- Significant trees should be retained within the site by incorporating them into the design of any new development.
- Landscape upgrade works, including new street tree plantings, should be provided, favouring native and indigenous species.



## SETBACKS AND LANDSCAPING ALL PRECINCTS

### LEGEND














-  ACTIVITY CENTRE BOUNDARY
-  PRECINCTS
-  EXISTING SERVICE LANE
-  ROADS
-  POTENTIAL NEW STREET
-  EXISTING TREES IN PUBLIC/PRIVATE REALM
-  SIGNIFICANT TREES TO BE RETAINED
-  PROPOSED LANDSCAPING ENHANCEMENTS
-  0M SETBACK
-  CLAUSE 55.03-1 (STANDARD B6) APPLIES. THIS SHOULD BE INCREASED WHERE SUBSTANTIAL VEGETATION IS TO BE RETAINED
-  MINIMUM 3M SETBACK TO GRIMSHAW STREET. THIS SHOULD BE INCREASED WHERE SUBSTANTIAL VEGETATION IS TO BE RETAINED
-  MINIMUM 6M SETBACK APPLIES. THIS SHOULD BE INCREASED WHERE SUBSTANTIAL VEGETATION IS TO BE RETAINED
-  CLAUSE 55.04-1, 55.04-2, 55.04-3, 55.04-5 AND 55.04-6 APPLY AT SENSITIVE INTERFACE

Figure 13: Precinct 2 Setbacks and Landscaping

## PRECINCT 5 – SOUTHERN RESIDENTIAL

### Precinct Objectives

- Provide landscaping that responds to the existing landscape setting of the adjacent residential area.
- To protect and retain existing trees and promote planting of new trees.

### Precinct Guidelines

#### Setbacks

- To manage the sensitive interface between sub-precinct 5B and 5C, apply Clause 55.04-1 (side and rear setbacks), Clause 54.04-2 (walls on boundaries), Clause 55.04-3 (daylight to existing windows), Clause 55.04-5 (overshadowing open space) and Clause 55.04-6 (overlooking).

#### Landscape

- Screen planting should be provided between buildings in Precincts 5B and 5C.
- Existing substantial vegetation should be retained on the site where possible and possible. An increased front setback may be required to retain existing substantial vegetation.
- Canopy trees within a site frontage should be retained where possible .

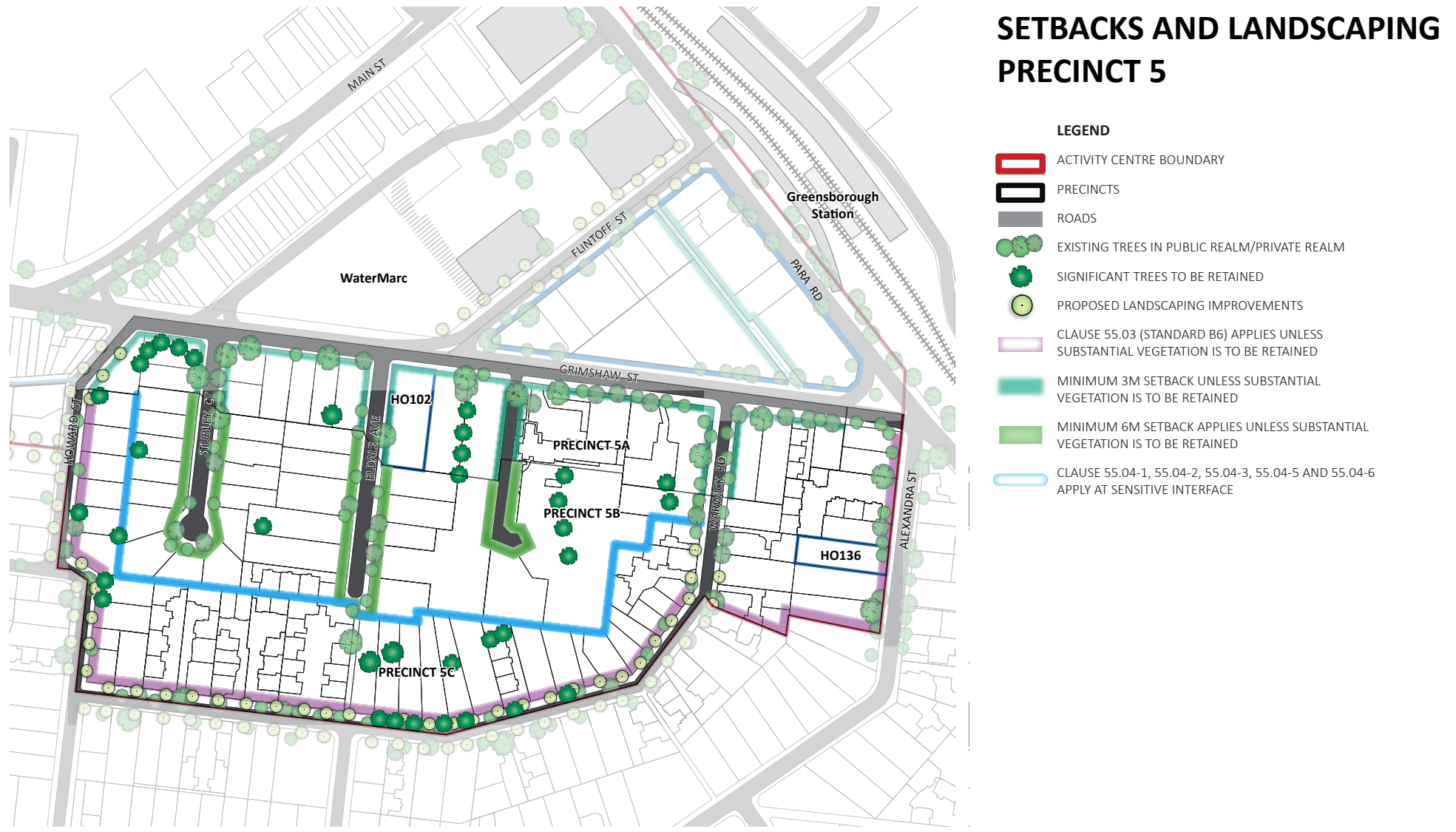


Figure 14: Landscaping and Setback Precinct 5

## PRECINCT 6 – FLINTOFF STREET

### Precinct Objectives

- To encourage rooftop gardens to blend the built form with the landscape.
- To retain significant vegetation where possible.

### Precinct Guidelines

- Landscape treatments of setback areas should reflect appearance of landscape treatments in adjoining streets.
- To blend buildings into the landscape, rooftop planting should be provided where possible.
- Retain and incorporate significant remnant and canopy trees into the streetscape and site layout.



## SETBACKS AND LANDSCAPING PRECINCT 6

### LEGEND

-  ACTIVITY CENTRE BOUNDARY
-  PRECINCTS
-  EXISTING TREES IN PUBLIC/PRIVATE REALM
-  PROPOSED LANDSCAPING IMPROVEMENTS
-  ENHANCE PEDESTRIAN CONNECTION
-  ROADS
-  EXISTING SERVICE LANE
-  0M SETBACK TO ACTIVATE STREET FRONTAGE
-  3M SETBACK TO ACTIVATE STREET FRONTAGE
-  MINIMUM 3M SETBACK TO SERVICE LANE APPLIES. THIS SHOULD BE INCREASED WHERE SUBSTANTIAL VEGETATION IS TO BE RETAINED

Figure 15: Landscaping and Setback Precinct 6



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